



Retaining Wall Application

A plot plan with setback information and walls clearly marked must be submitted along with this application. [see attachment 1 for requirements]

Address of Property: _____

Owner Name _____ Address: _____

Phone Number: _____ Email: _____

Is this a Residential or Commercial property?

Yes No

Will the property owner be completing this work?

Yes No

If residential and part of a subdivision, does your plan meet Bill of Assurance or POA Requirements?

Yes No

Contractor Information: [if not being done by property owner]

Company Name: _____

Name of Contact: _____

Phone Number: _____

Email: _____

Please mark all that applies:

- a) New Wall Repair of an existing wall Modification of existing wall
Included with building permit
- b) How many retaining walls are involved/proposed?
- c) Will any wall section be over 4 feet in height?
If yes and more than one wall is involved, then number each section on the plot plans that will exceed 4 feet.

Will any retaining walls] be installed in or near any of the following? [mark all that apply]

- a. Utility Easement
- b. Drainage Easement
- c. Access Easement
- d. Front of lot and primary residence/structure
- e. Clear view zone

Owner: I certify under penalty of perjury that the foregoing statements and answers herein made all data, information, and evidence submitted are all respects, to the best of my knowledge and belief, true and correct. I understand that a submittal of incorrect or false information is grounds for invalidation of application completeness, determination, or approval. I understand that the City might not approve what I am applying for or might set conditions on approval.

Name: _____ Date: _____



Attachment 1

Retaining Wall Regulations:

1. The attached application must be completed and submitted for all new, repaired, or modified residential retaining walls or steep slopes exceeding 3:1. All retaining walls or steep slopes over 4 feet in height must be designed and certified by an Engineer.
2. Retaining walls must be located on private property.
3. No retaining wall over 30 inches in height can be located within the clear view zone of street intersections. [see example 1]
4. Retaining walls cannot restrict access to utilities, impede the normal flow of storm water, cross an open channel, or be located over an access easement. Retaining walls are to be built no closer than 5 feet from any side or back property line. Retaining walls are not to be placed within utility easements. Exceptions can only be approved by the Street Department or Benton utilities if near a street right of way or utility easement.
5. If walls are terraced or tiered, the distance between walls should be the same as the height of the tallest of the retaining walls. [see example 2]
6. When construction of the wall is complete, the applicant must contact Community Development to obtain a final inspection and receive a certificate of compliance.
7. Replacement or repair of a retaining wall requires a permit and drawing to show extent of work and locations on property. No fee will be required.

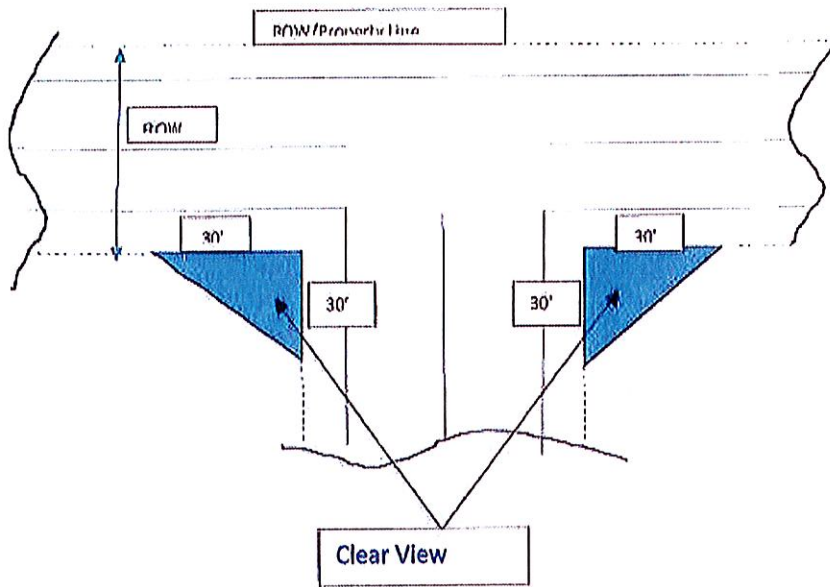
Engineer Certificate Required:

1. Any retaining wall over 4 feet in height.
2. Setback rule: Any retaining wall over 4 feet in height where 1.5 times the height of the wall is either greater than or equal to the building setback of an adjacent lot or if such distance encroaches on any structure. [Height of wall] X [1.5] greater than or equal to Adjacent setback or a structure. [see example 3]
3. Any retaining wall over 4 feet in height located adjacent to a utility easement or public right of way.

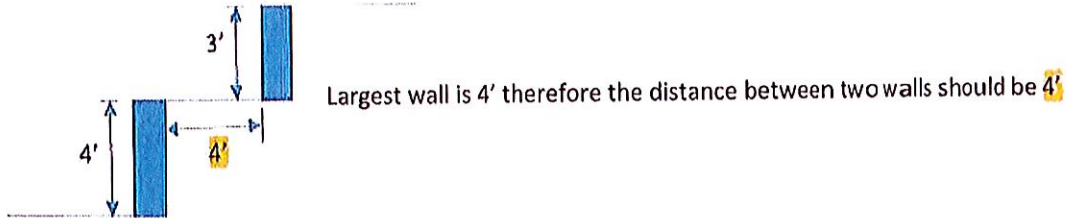
Plot plan or site plan must be submitted with the application and include the following:

1. Location of all existing structures property lines, and setbacks.
2. Location of all utilities and utility easements.
3. Location of all drainage ways and drainage easements.
4. Existing contours or spot elevations.
5. Location of any existing retaining walls currently on the property or is present on adjacent property.
6. Construction details and cross sections of new wall sections and its footing or that of a steep slope section and clearly identify the elevation change above and below and where the walls is/are to begin and end on the property.
7. Provide all dimensions between walls and structures and distance from property lines and easements or right of way.
8. If applicable, provide Engineer's seal and signature.

EXAMPLE 1: Clear View Zone



EXAMPLE 2: Terraced or tiered retaining walls



EXAMPLE 3: Engineer Certificate Required re: Setback rule

